

The Cottages at Hobble Creek Canyon Architectural Design Guidelines **(Submittal Version) 4-9-21**

I. Description of Project and Process

A. Introduction to “The Cottages at Hobble Creek Canyon” located in Utah County.

Implementation of the following Design Guidelines will ensure that structures and landscapes harmoniously blend with their natural surroundings to protect, preserve, and enhance this special Mountain setting. It is not the purpose of these guidelines to create look-alike structures or to suggest that all buildings have the same colors or use the same materials. Rather, the parameters set forth in this document will encourage creative designs that are tailored to the unique features found at each development site. Each design must address the special needs of its site and begin with a thorough site evaluation to take into account the site’s topography, sun angles, view corridors, driveway access point, utility service connections, drainage patterns, significant native vegetative material and the locations of other home sites. These Guidelines should excite interest and encourage individual property owners and contractors in their design efforts, resulting in a cohesive – yet diverse – collection of homes. The Cottages are also encouraging more modern/contemporary styles in future homes. Please see the images below for modern examples. Current homes will be considered acceptable and grandfathered as compliant. However, features of a current home design may not necessarily assure similar feature compliance in a future home.

These design guidelines are not a “building code,” but recommendations for harmonious design. They are intended to provide direction in terms of designs and construction materials. They are also intended to be used in conjunction with a formal review process and are meant to give the property owners and their architects and builders an accurate sense of what the Architectural Design Review Committee will be seeking. All plans and final designs will require approval by the ADRC & by the appropriate governing agencies prior to construction.

Future Acceptable Structure Examples



B. Guidelines Organization and Review Process 1. Guidelines Organization

Chapter I, Description of Project and Process

Chapter II, Site Planning Design Guidelines, sets forth guidelines and standards for site work relating to the general site character, building setback and site development such as grading, limits of disturbance, and placement of structures, outdoor furnishings, and other manmade elements. Elements of good site design are to be considered in creating the architectural product proposed for each lot.

Chapter III, Building Design Parameters, sets forth the standards for lot sizes, building sizes and building height related to the location of the lots.

Chapter IV, General Architectural Character sets forth the building design parameters for structures including the building form, building components, fenestration, architectural elements, colors and materials.

Chapter V, Landscape, Hardscape and Outdoor Features sets forth the design standards for the landscape and common areas, outdoor amenities and their applications related to the location of the lots.

Chapter VI, Construction Requirements, sets out guidelines for limits of disturbance, revegetation, construction noise mitigation, hours of operation, and other related matters.

Chapter VII, Architectural Design Review Committee Process and Structure sets out the definitions and objective of the members, meetings and their organization and discusses design review procedures from site inspection and preliminary plan submittal through interim construction inspections and final release.

Chapter VIII, Design Review Submittal Checklist, outlines a guide for the submission of the required documents for the design review process. Appendices to these guidelines include: A –Approved Plant Lists.

Chapter IX, Resources, outlines additional information that may be required for the approval of the Design Review process.

2. Review Process An Architectural Design Review Committee (“ADRC”) has been established to administer and enforce these Design Guidelines. The ADRC will preserve and enhance The Cottages Style for generations to come as it oversees the implementation of the tenets contained herein. The ADRC will provide information and assistance to all homeowners and their chosen design professionals, thus serving as a resource for all participating parties.

The formal design review involves a process whereby developers and individual lot owners will be required to submit all proposals and drawings to the ADRC established and created by The Cottages Covenants, Conditions and Restrictions (“CC&R’s”) for review and approval prior to submittal to Utah County for approval and issuance of building permits. Section VII of the Guidelines contains the Architectural Review process.

It is important that each owner follow this development process in sequence to avoid wasting time and money on plans and designs that do not adhere to the intent of the Design Guidelines. In order to assure clarity of communication between the homeowner and the ADRC, the following sequence should be followed:

1- Pre-Design Conference – This meeting will be held on site and will give the owner and his/her design professionals’ time to review the

natural characteristics of the site and discuss preliminary concepts with a representative of the ADRC. This meeting will also provide the opportunity for clarification of any particular design principle contained in the Development Guidelines and/or Covenants, Conditions, and Restrictions as it pertains to the specific lot under consideration.

2- Preliminary Submittal – This is an opportunity for the owner to present to the ADRC preliminary sketches or graphics needed to illustrate the overall conceptual ideas under consideration for the owner’s lot. The primary focus of the ADRC at this time will be to ensure conformance with the Design Guidelines, before the owner finalizes his/her designs.

3- Final Submittal – The ADRC will review all final construction documents and plans to confirm that they are consistent with the previously approved preliminary plans and in conformance with the Design Guidelines.

4- Pre Construction Conference – This is an opportunity for the owner and builder to review construction regulations with a representative of the ADRC to ensure understanding and compliance with construction principles contained in Design Guidelines.

5- Final Inspection – All improvements should be inspected by a representative of the ADRC to determine whether construction is completed in compliance with the approved plans and Design Guidelines.

The ADRC reserves the right to periodically amend the Design Guidelines. The ADRC retains responsibility to make both subjective and objective determinations as to whether the goals of the Design Guidelines have been met. These guidelines may include requirements and limitations that are more restrictive than those declared in the Covenants, Conditions and Restrictions, or recorded on the subdivision plat. In such instances, the provisions, restrictions and procedures in the Design Guidelines will take precedence over all other declarations.

The Design Guidelines and ADRC review process are not intended to supersede any local, county, or state building code requirements, nor will The Cottages approval be deemed as a building permit issued by any regulatory agency. Each Owner bears the responsibility for adherence to The Cottages Design Guidelines, and also must comply with any local, county, or state building code requirements.

C. Community Character:

In order to promote a diversity sense at The Cottages, general goals were identified that generated a philosophy to guide development. The development philosophy focuses on the following:

1. Emulate Vernacular Architecture. Vernacular architecture allows creating continuity with the identity of the past and connects modern designs with historic conventions giving a sensible response to climate conditions. The Cottages promotes individual architectural diversity by encouraging the following:

2. Respect and Protect Environment (Sensitivity to Terrain/Landscape). The placement, choice, maintenance and replacement of plant materials in The Cottages are important components of the development. The revegetation of disturbed areas and the integration of newly developed areas into existing vegetation are integral parts of the design process. The landscape palette for The Cottages will be sensitive to the climate, reflecting the natural vegetation in the various geographic sections of the property.

Construction requirements and associated "limits of disturbance" will minimize disturbance of the natural environment, while providing owners and builders with standards and procedures relating to temporary fencing, parking and construction facilities, access, noise, trash removal and dust levels.

Lighting should be designed to minimize or eliminate light pollution and the distribution of excess light onto adjacent properties. Lighting will be designed to offer illumination and security. Lighting should be provided in areas that are potentially dangerous when unlit. Lighting should be tailored to types of use.

3. Building Form Statement. Building shape, size and location will be important considerations of the ADRC in recommending approval. Consideration will be given to the "build" environment, such that grading and creation of building setbacks consider architecture, elevations and massing that fit the site.

4. Create Outdoor Living Spaces. Preservation of significant open space throughout the development is encouraged as well as pedestrian circulation through the development with the construction of paths and trails.

5. Prominent Roof Overhangs. The use of Prominent Roof Overhangs is encouraged in The Cottages. Deep overhangs in all directions should be proportioned to the scale of the building mass. Houses evolved with generous overhanging eaves will provide protection from the summer sun and gives shade to the house's vertical surfaces. The design of the eaves will function as an expression of numerous regional influences, like vernacular construction methods, giving the adequate structural expression for the development.

6. Structural Expression Encouraged. The architectural theme of the development emphasizes a direct expression of structural enclosure, whether through massing of walls or the use of wood framing and detailing. Often the materials of the expressed structure become the visual detail and finish surfaces of the architecture, such as stone bearing walls, roof timbers (exposed roof beams,) rafter tails, bracing, brackets and outriggers. The success of this type of architecture depends on the straightforward expression of structural components. Mass walls should read as load bearing walls with deep window and door reveals, while truss and beam framing should be visually integral to the primary structure and not used merely as additive decoration.

STRUCTURAL EXPRESSION ENCOURAGED



7. Use of Local Materials. Utah is blessed with an abundance and wide variety of natural building materials. These include stone, soils, trees and plants among others. The use of local materials is encouraged in The Cottages. Materials that are produced locally save money and energy in transportation to the site. This reduces worldwide energy consumption and allows the materials to fit naturally with the local environment.

8. Use Local Craftsman. Native people are familiar with the local materials. They have the knowledge to select locally available materials and adapt them to the design to reflect local environmental conditions. They also made significant contributions to the creation of the manufacturing process that makes sense given the availability of local hardware and technical capacity.

9. Promote Energy Efficiency. Homeowners and builders should endeavor to build energy efficient buildings. There are many modern systems and products along with specific materials and methods of construction available that will allow homeowners to save energy both in the construction phase and throughout the life of the buildings. Designers have many options available to them, which should be investigated during the early design process. Those options may include passive and active solar systems, photovoltaic panels, and geothermal and similar technology. The integration of these systems into the design must follow and be compatible with these Design Guidelines.

II. Site Planning

A. Site Design

General Site Character. The purpose and intent of this section is to consider terrain, driveway access, existing grading, existing vegetation, and unique geologic features and incorporate these factors into the proposed development to enhance the mountain setting of The Cottages. Site planning for any proposed structure should rely heavily on site analysis efforts and focus on minimizing changes in grade, drainage patterns, slope, and location of significant vegetation. Sun angles, prevailing wind directions, and view corridors and noise sources also require attention. The placement and orientation of buildings and the design of the landscape surrounding them is as critical as the actual architecture of the structures and must relate to existing terrain and preserve.

B. Site Development

1. Site Grading and Drainage. Along with the functional aspects of grading and drainage, the aesthetic goal of grading is to preserve existing natural landforms or to create landscapes that appear natural within their settings. Excavation or fill grading should be kept to that which is reasonable for the home site construction. The use of retaining walls is preferred in the event that large cut and fill slopes are needed to reduce the amount of disturbance to native vegetation. Slopes of 3:1 are encouraged for distances of more than 10 horizontal feet. Slopes should not exceed 2:1 and for not more than 10 horizontal feet unless there are extenuating site-specific circumstances. All slopes steeper than 2:1 will require a geotechnical report demonstrating that the specific soils onsite can be steeper. It is encouraged that a balanced cut/fill ratio be maintained in order to minimize the export of soil from the site. Cuts and fills shall be limited and it may be necessary to wind paths, roads etc. in order to avoid them. When they are required for construction of roads, driveways and pathways they should conform to accepted engineering practices with naturally rounded tops and toes of slopes.

Wherever practical, natural drainage courses should be protected and existing drainage patterns maintained. Site grading and drainage should not create conditions that could lead to soil erosion. Re-routing a drainage way within the boundary of the building setback will be considered on a case-by-case basis. Relocated drainage ways must accommodate for possible loss of vegetation, visual impact to surrounding property owners, and the overall master drainage plan.

Sound grading practices must be followed to eliminate obstructions to surface flow, snowmelt, or groundwater discharge. Impervious surfaces are to be kept to a minimum. No increase in drainage flow onto a neighboring home site will be allowed. All areas disturbed during the course of construction that are to remain pervious must be revegetated with approved plant materials that will blend into the surrounding native landscape.

Ground floor levels should be established at a vertical elevation such that the final placement of backfill, walks, drives, and porches will produce a positive drainage pattern away from the structure in all directions. Foundation waterproofing and a perforated pipe foundation drainage system are recommended.

EXCESSIVE CUT AND FILL SLOPES
TO CREATE BUILDING PADS
WILL NOT BE PERMITTED



Designs for homes on sloping sites should respect the natural contours of the land and the building footprint should take up the slope grade. The location and design of the proposed structure must relate to the existing terrain and should be stepped with the existing contour of the land. All home site grading must be limited to within the building setback. Only grading for construction of driveways (including retaining walls if necessary) and other grading necessary for construction will be permitted outside building setback.

No excessive excavation or fill will be permitted without prior approval of the ADRC on any home site to create pad grading for the intention of providing concrete slab foundations on steep slopes. In the event there is excess fill, this material may not be disposed onsite outside the building setback. It must be disposed of offsite.

To minimize erosion and maintain the essential quality of the site, construction limits will be specified and stockpiling, equipment, traffic and parking will be confined therein and limits of disturbance will be identified on the property-grading plan and fenced off in the field. During and after construction, when erosion is likely, temporary stockpiles of topsoil must be stabilized either by mulching, covering or down slope silt protection. During rainy season, temporary runoff channels must be built to drain construction zones; channels must have silt screens installed at appropriate locations. All embankments constructed as part of cut/fill operations must be seeded and mulched. At a minimum temporary irrigation must be provided to all re-vegetated areas.

2. Access Drives. Each lot should be allowed only one vehicle access point. A preferred access zone for each lot will be defined by the ADRC. Lots located at the corner of a collector street, a residential street, or a cul-de-sac, should have the driveway located on the subordinate street unless specifically depicted otherwise specified by the ADRC or the County. Access drives should be located to minimize disturbance to the existing landscape.

Driveways must be at least 10 feet in width and may not exceed 14 feet in width where crossing the road right-of-way and tying into the roadway and must align with roadways at not less than a 75-degree angle. Driveways may widen once inside the building setback to allow for proper maneuvering and turnaround space. Driveways, turnarounds and off-street parking must be designed to blend into the site and must be buffered from the road using landscaping and earth forms. Where space permits, curving driveway alignments are favored over linear alignments to avoid natural features and because of their softened visual appearance. Driveways exceeding 12% up to a maximum of 15% must receive ADRC approval. In any case, the first and last 20 feet of the driveway must have a maximum gradient of 5%. Driveways should follow alignments that minimize grading, tree cutting, or other site disruption. Appropriate driveway materials include light colored exposed aggregate concrete, pavers, natural stone, or other materials as approved by the ADRC. An 18" culvert drainage pipe should be installed where necessary beneath each access driveway, between the road shoulder and the property line. Driveway access and garage door orientation may not face the street or any other common area. Garage door orientation should be resolved during the pre-design meeting. Every effort should be made to minimize the potential view of the garage doors from the street. Only designs that clearly place the mass of the home significantly closer to the street than the separate enclosed structure will be considered. In all cases, the front entry for pedestrian access should appear dominant over the vehicular access, but never appear excessive in height.

3. Retaining Walls. When retaining walls are used, their appearance should blend into and/or appear to be an extension of an existing natural landform where possible. Retaining walls that are visible from offsite should be faced with stone veneer consistent with stone used on the residence or other retaining walls along the roadways adjacent to the lots.

Retaining walls exceeding 6 feet in height should be battered and stepped to include ample planting pockets for vegetation to fill in and break up the large retaining wall façade. Where multiple retaining walls are to be used, each tier must be separated by at least 4 feet to provide a planting area. In some cases, retaining walls up to 12' may be permitted if they reduce the amount of disturbance to native vegetation. When constructing vertical retaining walls, slope walls about 10 degrees from vertical should be considered to soften the impact of an otherwise vertical wall. No retaining walls or grading near setbacks will be approved that result in abrupt transitions to adjacent home sites and/streets. A structural engineer must design structural retaining walls in excess of four feet.

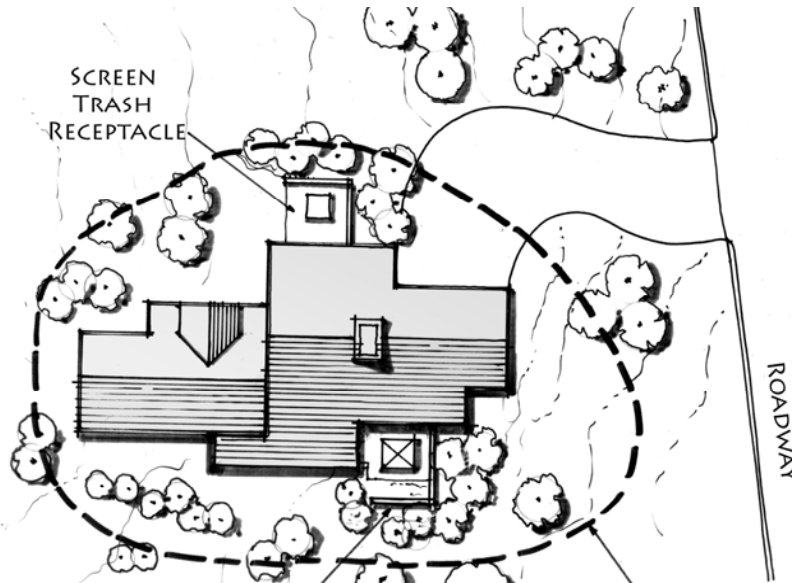
4. Parking. All home sites must have an area for the parking of two guest automobiles within the building setback. Homeowners, who possess trucks, boats, campers, buses, campers, motorcycles, recreational vehicles, other mobile equipment, trailers, implements, and

vehicles (excluding automobiles) of all kinds or nature, must store or park these vehicles within an enclosed area so as to completely hide them from view. Sufficient garage space for all automobiles and other vehicles used by the occupants of a lot shall be provided to keep these within the garage other than for temporary purposes. No commercial vehicles, trucks with a capacity in excess of one ton, shall be parked or stored upon any lot or street within The Cottages subdivision.

5. Utilities. All utility services are underground and are generally stubbed to the front property line for each lot. They are usually clustered together in the same location within the preferred driveway access zone. This will allow homeowners the ability to run service lines in conjunction with their driveways to limit any further site disturbance. The Owner and Contractor are responsible for extension of services from these stubbed locations to the residence. Utility trenching may not encroach into any required setback except where trenches cross the front of the lot from the road into the building setback. All utility connections and routing will be addressed during the pre-design meeting. Information regarding utility connection procedures may be obtained by contacting the respective utility providers.

All areas disturbed due to utility installation should be restored, as nearly as possible, to their natural condition and be revegetated using the approved plant list. To the extent possible and with the approval of the utility company, utility boxes are to be located and/or screened to minimize their visual impact.

6. Privacy Walls and Fencing. Site privacy walls and fencing must appear as a visual extension of the residence, using similar construction materials and finishes. Privacy walls and fencing should be limited to creating and establishing privacy around outdoor living spaces, providing a defined edge between maintained landscaped areas and native vegetation. Privacy fence and wall designs should harmonize with the site and the buildings in both scale and appearance.



All privacy walls and fences must be located inside the building setback and should not exceed 6 feet in height measured from existing

natural grade. They should be constructed of rock boulders, wood, wrought iron, natural or stone veneers and stone-face concrete. No walls may be constructed of exposed concrete aggregate, concrete block, or brick. No lot boundary or building setback perimeter fencing will be permitted. Metal (other than wrought iron), plastic, vinyl, chain link or other like materials is prohibited.

Wall and fence designs are subject to review and approval by the ADRC. Other materials and styles of fencing may be approved at the discretion of the ADRC. Generally, fencing is discouraged in order to retain an open natural environment throughout the community. Long-term screening can be accomplished through vegetation where possible.

7. Outdoor Storage. Trash Receptacles and Mechanical Equipment Trash disposal, outdoor storage and work areas, and outside equipment including metering devices, transformers, air conditioning units, are to be completely screened from off-site views and, as appropriate, made inaccessible to wildlife by using architectural features integrated into the building design and the form, materials and colors of the site walls. No roof or wall mounted mechanical equipment will be permitted. Any exterior mechanical equipment, transformers, air conditioning units, etc. must be installed at ground level adjacent to the residence. All such mechanical equipment and all trash receptacles must be screened by privacy walls or fencing to be kept hidden from view and prevent sound pollution. All equipment and storage areas must be contained within the building setback. Contact utility companies regarding Access and the placement of screening material. All utilities must be located underground to eliminate unsightly views.

8. Antenna and Satellite Dishes. Satellite dishes, television or radio antennas shall be screened from the road, adjacent home sites, or common areas. Satellite dishes larger than 40" in diameter and umbrella covers over satellite dishes are not allowed. Removal of trees to improve reception is prohibited. Sufficient screening must be an integral component if these devices are to be installed. Incorporation of satellite dishes on antennae must be approved by the ADRC and may be subject to special requirements and fees.

9. Signage and Address. Signage and Address identification must be approved by the ADRC. Cost for construction and maintenance is at the Owner's expense.

No additional signage of any kind will be permitted, except for temporary real estate signs, construction signs by each builder, directional signage to be provided by the developer and/or signs advertising the name of the institution providing financing therefore may be displayed on a Lot during construction of the Building so long as said sign(s) is approved in writing by the ADRC prior to installation. Owners may advertise a dwelling unit for sale by displaying a single, neat, reasonably sized "For Sale" sign thereon.

10. Lighting. The brilliance of the night sky at The Cottages is an amenity to be preserved. Exterior lighting should be dark sky compliant.

To be acceptable, lighting from the driveway to the building setback must be pedestrian oriented in scale and focused in a downward direction and must be used to meet the requirements of safety and easy identification of entrances, driveways and buildings.

Low-level exterior site lighting is permitted within the building setback provided such lighting will not produce excessive glare toward the street or adjacent home sites. All lights should be cast downward. No open-air flood lighting is permitted. Light sources should be shielded and directional. Temporary Christmas decorations are allowed (see CC&R's).



11. Swimming Pools, Spas and Hot Tubs. Swimming pools, spas and hot tubs must be designed as a visual extension of the main residence through the use of privacy walls, fences, and decks. All pools, spas and hot tubs along with their mechanical equipment must be located in a specific area and must be screened from views of adjacent home sites and common areas. Refer to item II.B.6 *Privacy walls and Fencing* for specific requirements. Noise from any mechanical equipment must be dampened so as not to be intrusive to adjacent home sites and common areas. All pools and spas must be constructed in accordance with local, county or state regulations.

12. Recreational Features. Sport Courts, Play Structures and Tennis courts will not be permitted due to the excessive clearing required by them. Smaller sport courts and other play structures such as trampolines, swing sets, slides may be allowed when measures to minimize their impacts to adjacent home sites and common areas are addressed and approved by the ADRC. All play structures should be painted in color to blend into the landscape or match the residence. Timber or dark-colored steel structural components are allowed.

13. Outdoor Living Spaces. Integration of outdoor living spaces into the design of the house is an important feature of homes in this region. These outdoor spaces offer opportunities for homeowners to experience the transition of the comforts of home with the outdoors. Designers are encouraged to incorporate the natural environment into the home through the use of large covered and open porches, decks, hard and soft patios, breezeways and courtyards. These elements should be confined to the building setback. The number of these elements should be limited to avoid visual clutter.

Materials and roofs for outdoor living areas should be consistent with materials and roof designs used on the main residence. Decks and trellises should be built of wood, stained and/or sealed.

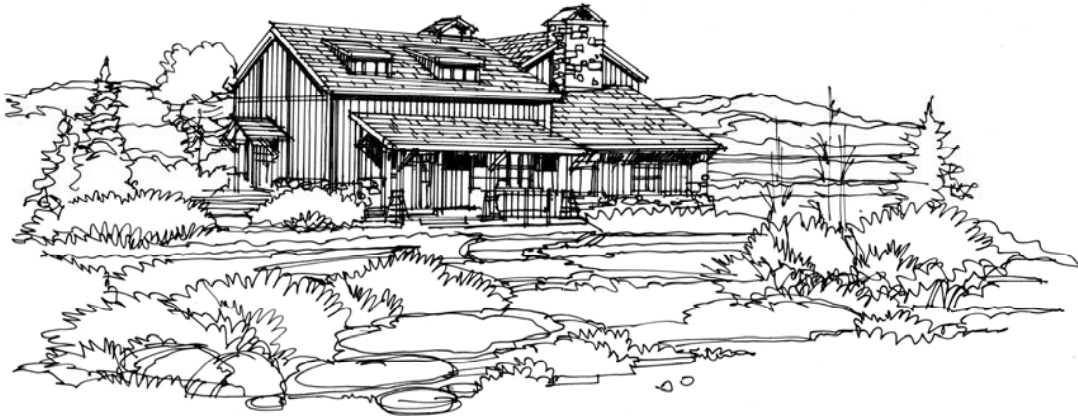
14. Wildfire Safety Measures. Thoughtful planning and preventative landscape maintenance measures should be incorporated into overall landscape plans in order to reduce the risk of wildfire throughout The Cottages community. Each plan should consider the amount of fire fuel immediately surrounding a structure. Proper off-site disposal is required for slash and debris material, dead limbs, leaves, needles and other flammable material. Homes must include sprinkler systems. Roads should provide natural firebreaks. Firewood shall be stacked away from the home.

15. Utility Easements. Utility easements have been established throughout The Cottages in order to facilitate the installation and maintenance of utilities. Owners are responsible for providing utility service lines to their homes. All utility lines serving individual homes must be located underground and when feasible, should be sited under or along side driveways to minimize site disturbance.

III. Building Design Parameters

A. Building Size. No more than one residence may be allowed on any home site. All single-family lots have a minimum square footage requirement for the residence. Lots shall have a minimum size of 2,500 square feet on main floor and a maximum 8,500 square feet of livable space allotted for each lot. When computing floor area, all square footages are measured to the outside wall. Basement space is not included.

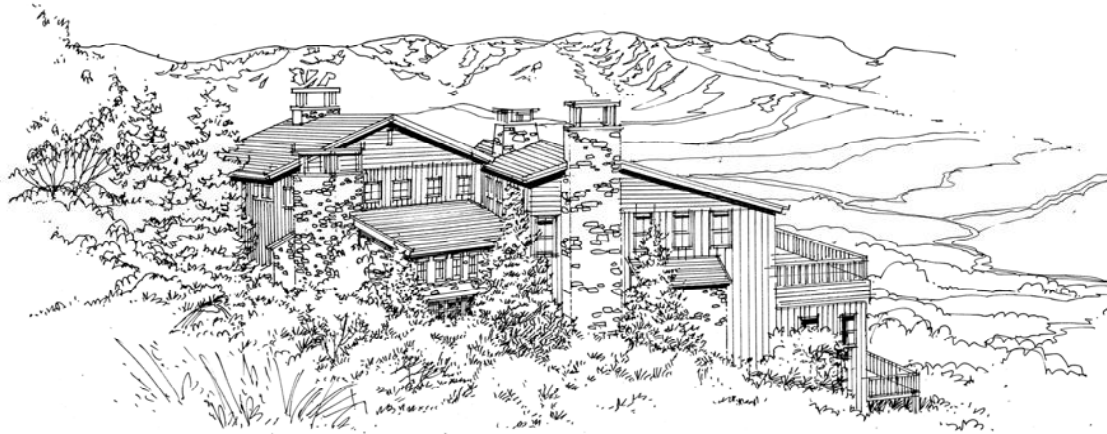
B. Building Height. All homes within The Cottages shall be limited to a maximum of 35', excluding chimneys. Building Heights shall comply with the Utah County regulations. The ADRC retains the right to impose different height restrictions with respect to the overall scale of the proposed structure if necessitated by specific site conditions.



IV. Architectural Character

A. Introduction to Architectural Character Design Principles

Preserving the fundamental beauty of Wasatch Front mountain hilltop and valleys is central to The Cottages architectural philosophy. The architectural styles embraced here reflect inspiration from and respect for the natural environment, ensuring unity in function, the relationship of the spaces and structure, and aesthetic character of those enclosed spaces. Built structures are human-scale in size and relate to their surrounding landscape in overall design and construction materials.



HILLSIDE LOT STYLE

The following architectural principles are intended to reinforce and enhance The Cottages Styles: defining the look, feel, and function of the built environment. The Architectural Guidelines are not intended to limit creativity and individual style, but should be viewed as a framework from which Owners work as they establish their own individual expressions. Variety, interest, and elegance in architectural designs shall be incorporated into The Cottages aesthetic. All designs shall be compatible with the development character as indicated in these standards.

The architectural theme at The Cottages includes a mix of refined Mountain, Mountain Modern, Modern Farmhouse, Ranch Homes and houses with similarity to Victorian contemporary style.

Characteristics of the styles encouraged at The Cottages include: Gable or Hip Roof forms with medium pitches of 8:12 to 12:12 on primary roofs; Simple and classic detailing; Single and two story elements combined to provide variety in the elevation; Use of wood, some composite materials (limited stucco) and stone as exterior building materials (vinyl siding, and aluminum sidings are prohibited); Porches, verandas and balconies, including post and railing details.

B. Historical Precedent 1. Mountain & Regional Vernacular

Just as site planning must respond to the parameters of architectural design, the architectural elements must evolve from the site and regional vernacular. Although there is no single The Cottages style, there is a cohesive and harmonious philosophy of design. The thematic character seeks to combine elements of the past with the innovations of the contemporary mountain future. Appropriate examples can be found in the following areas:

a) Vail & Aspen, Colorado b) Deer Valley, Utah c) Park City, Utah d) Sundance, Utah

C. Prohibited Architectural Styles: Any style not listed that is determined to represent an extreme statement of any architectural style or period, as determined by the ADRC, is not appropriate.

The following architectural styles and motifs are either not permitted or strongly discouraged.

- Colonial
- Georgian
- Neo-classical
- Coastal-Eastern Seaboard
- French Provincial
- Spanish/California Style
- Gothic and Neo-gothic
- English Tudor or mock Tudor styles
- Art Deco
- Traditional Swiss chalet
- Tyrolean styles and motifs
- Traditional 'Swedish Cope' Log Homes
- A-frame structures
- Geodesic dome structures
- Gambrel roofed residential structures
- Pre-fabricated 'Modular' structures
- Log Cabin type structures
- Massive type structures ^[11]_[SEP]

D. Building Design Guidelines

1. Building Form

The form of the individual buildings at The Cottages is the single most important design factor contributing to the success of the built environment. Overall building form relates directly to the mass and scale of the structure. Therefore, the mass of each building should be appropriately scaled using simple and distinct volumes, with adjoining secondary masses used for scaling and visual interest. A single, massive form is inappropriate.

Building walls are typically one to one and one half stories in height and are required to step down to lower heights at the perimeter of the structure. Two-story wall massing is not appropriate. Buildings with living space designed in the roof are encouraged, as they typically appear less massive and, therefore, more sensitive to the landscape. Horizontal massing is preferred with adequate plane of walls changes, roof heights shifts and wall offsets.

a) Mass and Scale- Primary Structures. It is important that the massing of buildings be human in scale in order to maintain an intimate relationship with the existing environment. No unbroken expanse of building mass may exceed 60 feet in length.

The roof forms a different shape and/or ridge alignment. ^[11]_[SEP]The intent of these design principles is to ensure that the building mass does not

become overpowering. Changing the plane of walls gives visual interest. The overall form of buildings should include one low dominant mass. Secondary forms can then become additive to create an interesting composition of simple elements that step with the terrain.

b) Mass and Scale. Secondary structures... secondary roofs can join into sidewalls or cover smaller building forms. Roof forms should be used to shed snow away from building entries, patios, decks, porches, garages, driveways and other areas of activity. The overall form of buildings should include one low dominant mass.

c) Foundations. ^[L]_[SEP] Foundation walls are those walls that seem to “grow” out of the ground and act as the base of the building. ^[L]_[SEP] Durable materials should be used to protect the entire exterior foundation wall structures from impact and snow damage. No single foundation material except for stacked or stone veneer can be taller than 7 feet from finish grade.

- Appropriate materials for foundation walls include:
- Stacked stone
- Stone veneer
- Board-formed concrete
- Concrete with large exposed aggregate ^[L]_[SEP]

Foundation wall materials that are prohibited include:

- Common brick veneer
- Wood panels
- Plywood skirting
- Aluminum skirting
- Plastic skirting
- Asphalt composition shingles ^[L]_[SEP]

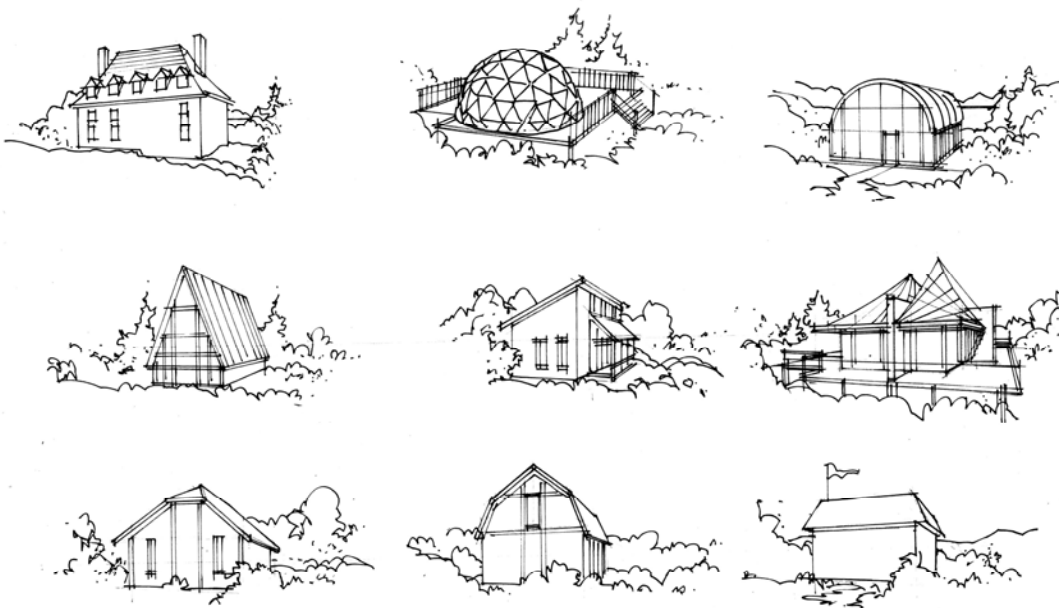
d) Garages. ^[L]_[SEP] The maximum size of an attached garage shall be (1,000) gross square feet. The desired garage door type is metal or wood, four-panel overhead, with or without windows. Garage doors should be the same color pallet as the body of the house and may have a slightly darker shade. In any case, these doors should blend with the home and surroundings. In order to minimize the impact on the community, garage doors facing the street or any common area are unacceptable.

Exceptions to this rule may be made at the discretion of the ADRC due to insurmountable obstacles existing on the home site. Designs that place the mass of the home closer to the street than the garage will only be considered. The front entry should appear dominant over the entry for vehicles. Home sites in prominent locations may have additional requirements relative to garage door placement. These requirements will be communicated to owners and their consultants at the pre-design conference.

b) Roof Form and Style

Roof shape must relate to human scale and create a pleasing relationship to the street and other common areas as well as to its adjacent structures. Roofs within the development are to be single or double gabled with dormers or sheds permitted at smaller, secondary roofs. Flat, conical and barrel vault shapes should be used sparingly and only on secondary roofs. Roof shapes specifically not allowed include:

- Mansard
- False mansard
- Domed- segmented or curvilinear
- A-frame or modified A-frame
- Curvilinear, not barrel vaulted
- Clipped gables
- Gambrel
- Joined shed (Only where required by modern style)
- Corrugated barrels - Quonset huts (secondary only)



Roofs descending from the ridge of the predominant or primary roof must have the same slope, but need not be the same length. Roof structures and rooflines should step down the hillside providing the appearance that the home follows the terrain. Roof framing should be expressed wherever possible, particularly through exposed ridge beams, outriggers, rafter tails and fascia boards.

i. Main Roof Pitches to be considered range from: 4:12 to 12:12 & must be approved by ADRC.

- Flat roofs will be permitted only with prior approval of the ADRC and they may only be proposed when they comprise less than ten percent (30%) of the total roof area or are used as a deck or balcony element. ^[SEP]
- ^[SEP]Roofs sharing the same ridge may share the same pitch. Pitch breaks are permitted when they occur at architecturally appropriate locations such as plate location or changes in plane. Primary roof pitches should be equal or steeper than secondary roofs.

ii. Ridgeline Length

Generally, buildings should not have one simple dominant roof. No continuous, unbroken ridgelines longer than 70' will be allowed.

iii. Overhangs

Roof overhangs protect walls and wall openings from rain and snow and contribute to a building's overall form and character. Roofs should overhang 12-36 inches. In no case should a roof form on a primary structure have an overhang of less than 18 inches. Roof overhangs shall be proportioned to the scale of the building mass. Overhangs that are less than 18 inches should be used on secondary smaller roofs and must be approved by the ADRC.

iv. Roof Appurtenances

Dormers, clerestories, and skylights are roof appurtenances that help to create interesting, pleasant interior spaces. Their location on the roof is critical to avoiding a chopped up and visually confusing appearance. Roof top equipment is not allowed. Ridge vents for roof ventilation are preferred. Flues and vents for gas-operated fireplaces and all other ventilation pipes such as furnaces must be enclosed in faux chimneys. Roof ornaments such as finials, ridge scrolling, turrets or barge and eave boards are prohibited.

Dormers may be shed or gable forms. Swooped dormers are not permitted. Dormer walls can be placed at or near the roof eave or within the field of the roof. Clerestories should be placed within the field of the roof and should not extend to the eave line.

Skylights must be placed flush against or no more than 4 inches above the roof's surface. Skylights placed at an angle with the roof plane must be avoided. Skylights should not extend to the eave line. Skylights and solar panels should be applied parallel and flat to the roof and are not to be on any roof parallel or facing the street.

v. Snow guards, Gutters and Downspouts

Snow guards should be used wherever significant amounts of snow may accumulate over occupied areas such as entries, patios, porches, driveways, garages and decks. Pitched roofs, which face north are particularly susceptible to snow and ice accumulation. Snow guards should be painted metal plate supports with or without timber horizontal members, painted metal snow cleats, or copper snow cleats. Snow guards specifically not allowed are bright, reflective metal finishes or plastic snow cleats.

Gutters should be made of painted metal or copper of a color and finish that blends with the finish color scheme. Gutters should be half-round or rectangular and downspouts should be circular or rectangular. Traditional or half round gutters and downspout may be constructed of aluminum or steel.

2. Building Components

a) Entries

Building entries should be inviting and designed to avoid the danger of snow shedding from overhead roofs. Entry portals and enclosures should exhibit a high level of artistry in the detailing of structural connections, doors, windows and trim. Building entries should be inviting and proportioned to convey a sense of human scale. Entries that are too ornate, monumental, or imposing will not be allowed. Entrances that are part of a covered front terrace or porch are preferred, but cannot be further than 4 feet above finish grade.

b) Walls

Building walls should be expressed as mass or frame walls, related to the structural nature of the building they are enclosing. They should continue down to the ground to give a feeling of solidity and repose. The lower portions of the exterior walls should be protected from extreme weathering and staining as a result of snow accumulation. The lower 2 to 4 feet of exterior walls should be surfaced in materials such as stone or concrete with stucco finish. Exterior walls should have a minimum cladding of approximately 30% stone, to align with the theme of existing homes. Stone should be a prominent element visible from the street. Prohibited materials for the lower walls are: Untreated wood or plywood, aluminum, steel, plastic siding, asphalt composition, brick, shakes or tiles.

The ADRC will review all exterior materials with respect to their use and relationship to their specific location and placement. All exterior materials must comply with the color limitations as described in these design guidelines. The exterior walls of any building are not to be surfaced with more than three materials within a single facade.

One material should be dominant over the other(s) and they should express a logical structural relationship. All building façades must include a significant degree of texture. The laps in horizontal lap siding must be 5- 9 inches.

Acceptable wall materials to be used are:

- Wood- horizontal or vertical painted or stained wood applications. Wood is a desirable material; however, it should be detailed and treated with care because of the impact of the climate over the long term. Wood will also have fire retardant qualities according to local codes.
- Stone- should be used to define or enclose a component of the building. When stone is used, it must be a dominant element and must be an integral material used to define, enclose a component of the building or it must be used as an accent.
- Board & Batten Siding
- Composite
- “Hardi-Plank,” pre-finished sidings or other simulated wood cement fiber board painted or stained siding

- Rusted steel as accent only
- Appropriate use of other materials not identified herein may also be considered. The following wall materials are limited and may be considered by the ADRC when they are not used as dominant elements or base materials:
 - Plain, split face or architectural concrete block, limited.
 - Stone tile, limited
 - Stucco, limited. Prohibited wall materials that have proven to be unsuitable for use in this area due to the climate conditions, incompatibility with the environment, or because their appearance is unacceptable are:
 - Colored concrete block
 - Lava rocks, clinker walls
 - Half timbered stucco
 - Construction grade finished plywood siding (including smooth or grooved)

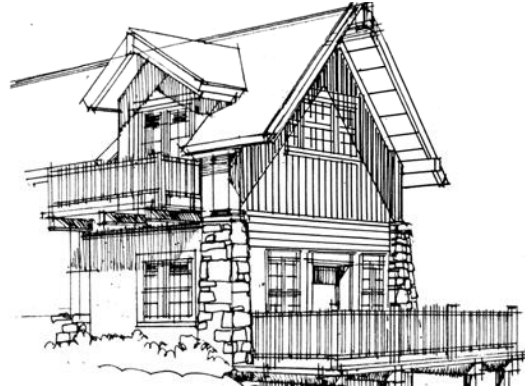
Unacceptable Materials include:

- T-111 type wood siding materials
- Aluminum siding
- Vinyl Siding
- Bright, contrasting, or patterned tile
- Brick
- Painted steel


c) Porches and Balconies.

Covered porches, terraces, decks and balconies are a key element to creating a more inviting sense of entry. This is accomplished by highlighting the pedestrian-oriented entrance.





Open and closed porch railing details are encouraged. In the case of closed porch railing details, use of the same material as the adjacent form is preferred. Natural weather-resistant wood such as cedar or redwood, unpainted steel materials, and other composite products may be used for railing construction. Stoops may be construction of wood, but only when design to give the appearance of a solid mass. All used materials should be in harmony with the primary building materials. Main entry doors are to be placed within the porch area to provide adequate cover from weather. Porch or deck flooring materials to be allowed are:

- Plain or rough-sawn wood
- Exterior slate, stone, and tile
- Composite decking products
- Steel grating where applicable
- Stained and/or stamped concrete 
- Roll down exterior window coverings, canvas awnings or other similar material will not be allowed.

d) Fireplaces and Chimneys

i. Fireplace Requirements

The use of wood burning fireplaces or stoves is permitted for both indoor and outdoor living spaces at The Cottages. Fireplaces should be designed to meet all applicable codes. Exposed flues and vents for gas-operated fireplaces or other equipment such as furnaces should be hidden from primary views and painted to blend with the nearest building materials.

ii. Chimney Sizes and Shapes

All flues six inches in diameter or greater shall be designed with chimneys. Chimneys should have a tall slender proportion in scale, reminiscent of turn of the century structures and preferably built of stone. Tapered slopes are encouraged as they add scale and interest. Heights of wood-burning chimneys relative to the nearest rooflines should comply with applicable codes. Heights of gas-burning chimneys

or flues should be designed to proportionally match their wood-burning counterparts to lend authenticity and consistency to the overall roofline.

iii. Materials and Caps

Chimneys shall be constructed of wood, stone, brick, copper or steel. All prefabricated metal flues should be concealed within a faux chimney. Chimneys may terminate in decorative caps made of either stone or metal and can extend up to 24" above the chimney top or as approved by the ADRC. When flat or pitched stone caps are used, they should have a minimum thickness of four inches. Chimney caps should be designed to screen spark arrestors and other utilitarian equipment as much as possible.

e) Additive Elements

Generally, additions to the Main body shall be limited in size so they are not considered as dominant elements.

3. Fenestration

a) Windows. Windows should appear as integral architectural features that are either recessed or bordered by projections to provide a shadow pattern and reduce reflectivity. Careful consideration should be given to the ratio of solid wall area to window area. All facades should contain some degree of doors, windows, or openings in the walls and should be used appropriately to fit within the overall facade.

i. Window Sizes, Shapes and Types

Windows should be proportioned to emphasize the vertical aspect of a facade. Their sizes should be appropriate to their materials. Large view windows should occur in exterior walls and should be recessed under exaggerated roof overhangs or porch soffits to minimize reflections from off site. They should be scaled for the surrounding structure supporting them.

Fenestration should be generally rectangular in shape with deviations from this permitted in unique locations such as entries and special window boxes. Picture, fixed, double-hung, awning, horizontal sliding and casement windows are encouraged. No round or oval shaped windows are allowed. Arched windows will be permitted on a limited basis, but not on primary front-facing windows. Half round, geometric shaped, jalousie, pivoting or hopper windows will not be allowed. Shutters are permitted around windows if they are operable.

Deep-rough-sawn wood, cut stone, or cast concrete lintels should support windows. Lintels should be wider than the windows they span. Lintel overhangs should not be less than 1-1/2 inches. Window framing should be dark in order to blend with the window & not provide inappropriate contrast to the fascia.

iii. Window Glazing

Windows should be insulated (double-glazed minimum) with at least a single low-emissive coating. Glazing should be non-reflective to minimize off-site glare. Large vision panels within window walls should be tempered. Glass may be coated or tinted to control solar heat gain, but a reflective mirrored appearance will not be approved.

Viewing windows should be set back under roof overhangs or other recesses in the structure to place the glass in shadow, thus avoiding reflection and glare.

b) Doors and Transoms

Exterior doors should be expressed as relatively deep reveals. Fenestration should be proportioned appropriately for the surrounding material.

i. Exterior Door Sizes, Shapes and Types

Door sizes should be appropriate to their materials, supported by deep, rough-sawn wood or cut stone lintels. Lintels should be wider than the doors they span. They should be scaled for the surrounding structure supporting them. Guideline parameters, custom designs are encouraged for doors, particularly at primary entries.

ii. Exterior Door Materials and Colors

Exterior doors should be wood or wood-clad in maintenance-free metals. Aluminum or steel with baked enamel finish and copper are allowed to patina naturally. Baked enamel colors for aluminum or steel cladding should be similar to trim colors with hues similar to field colors or stained wood colors. Vinyl clad doors are prohibited.

iii. Exterior Door Hardware

Variations in designs and materials used for exterior door hardware are encouraged to bring a level of fine detail to buildings within the development. Encouraged materials include brass, copper, wrought iron, wood and aluminum or steel. Aluminum and steel should be pre-finished.

c) Subtractive Elements

Subtractive forms like openings may be used in the structure providing they are proportional in form and complementary with the building. Their shapes should be based on a vertical or square unit, whether set into a wall or grouped together in horizontal openings. Shapes and forms of subtractive elements shall coordinate with the design of the additive elements as well as the proposed doors and windows.

4. Architectural Elements and Details

a) Roofs and Rafters Roof elements, including dormers, towers, decks and terraces are encouraged by The Cottages. Exposed treated wood roof rafters are encouraged.

b) Roof Brackets

Treated wood roof brackets are encouraged in The Cottages. They shall be proportional to the building mass and roof overhangs. Timbers should be four inches minimum thickness by six inches minimum depth.

c) Columns

Heavy sawn timbers must be sized to reflect the natural surroundings, namely typical diameter of trees in the area. Rectangular hewn timbers for columns and beams should be ten by six inches as a minimum in any direction. Larger columns may be considered by the ADRC providing they are proportional with the design of the structure. Plastic or fiberglass materials in columns are prohibited.

d) Roof Materials

Roof surfacing materials are important as a means of blending the new construction to the existing character of the area. Primary roofing materials will be limited to present a coherent and harmonious image for the community. From a functional standpoint, the choice of materials depends on the slope and assembly of the roof. Roof materials to be allowed are:

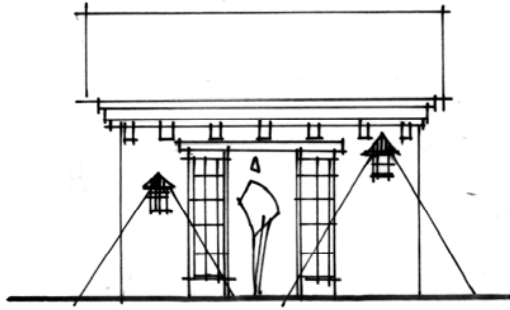
- Architectural grade asphalt shingles in approved colors.
 - Standing seam metal roofing in approved colors (non-reflective). Neutral colors are allowed.
 - Copper with an accelerated patina (no shine)
 - Slate or Simulated slate in earth tones
 - Cement tile in proportion with roof form (not Spanish style)
 - Other materials deemed appropriate by the ADRC
- Prohibited materials are:
- Vaulted tile
 - Reflective metals

e) Exterior Trim and soffits

Gable end fascias should be either two or three step design. Fascia should be a 10" +/- minimum dimension. Structural expression of roof framing is encouraged. Closed soffits may be of T&G wood, or painted aluminum as approved by the ADRC.

f) Exterior Architectural Lighting

The purpose of this Section is to regulate the use of outdoor lighting, emitting undesirable light rays into the night sky or onto private property. In order to maintain a rural character and preserve views to the night sky, exterior lighting is to be minimized. These standards are intended to allow reasonable enjoyment of adjacent and nearby property while requiring adequate levels of light for safety and convenience.



EXTERIOR ARCHITECTURAL LIGHTING

Exterior lights should be compatible with the design of the residence. Lights whose sole function is to floodlight a building or yard will not be permitted. Some architectural lighting may be approved by the ADRC. The most important factors to be considered are: support standard design and height, lamp types and characteristics, light intensity and distribution and lighting of hazardous locations.

5. Materials. The Cottages encourages the use of natural materials. The primary palette of materials includes: stone, wood timbers, square cut logs and siding, wood siding trim and details, and metal roofs. Wood is a desirable material as an accent and should be detailed and treated with care because of the impact of the climate. Appropriate use of other materials not identified herein may also be considered. Some manmade materials are allowed when used on parts of the building where the differentiation is minimized, such as materials that are weathered or have that appearance.

Facades should be composed of multiple materials and similarly detailed. The exterior walls of any building are not to be surfaced with more than three materials within a single façade. Large expanses displaying a single building material are discouraged. Material changes should be such that heavier materials should be on the bottom and lighter materials above (i.e., concrete with rock masonry should be below wood). All material changes should occur at corners or breaks in façade only and in no instance terminate mid façade. In the interest of conserving resources and encouraging buildings to blend harmoniously with their surroundings, the use of local building materials is encouraged. The use of bright, contrasting, or patterned tile as an exterior accent is discouraged.

The following materials have proved to be unsuitable for use in this area due to the climate, incompatibility with the environment, or because their appearance is such that the value of adjoining or abutting property is adversely affected. These materials are to be limited in use or prohibited. Materials labeled as “discouraged” may only be used if specifically approved by the ADRC.

- Plastic or vinyl siding – prohibited
- Plain concrete block – prohibited
- Colored or architectural concrete block – prohibited
- Fish scale cut shingles – only as an accent where gable ends
- Match stick wood or other inlays – discouraged

- Lava rocks, clinkers – prohibited
- Half timbered stucco – prohibited
- Plywood siding (including smooth or grooved) – prohibited
- Aluminum siding – prohibited. ^[L]_[SEP] Features such as awnings, flower boxes, balconies, exterior decks, and other similar enhancements shall be considered. All exterior materials must comply with the color limitations as described in the Color Palette portion of these Design Guidelines.

6. Color Palette. The predominate palette embraces earth tones and other low-intensity colors taken directly from the natural site. Building colors should be chosen to blend buildings with their surroundings and all trim, frames, doors, and windows shall be in concert with adjacent field colors. All exterior wood shall be painted or stained; nature-colored wood finishes are preferred. Colors naturally inherent to the applied materials such as natural stone or semi-transparent stained woods offer the desired textures for the The Cottages development. Three-color schemes are minimal: trim, accent, and body color. Color changes on walls must have accompanying trim to start and stop the color break. Color schemes must be varied from the adjacent properties in all directions.

Prohibited:

- Opaque stains covering materials such as stone or wood
- Colors foreign to the natural landscape
- Bright, primary colors on walls and roofs
- More than four colors (Accessory uses must use the same ^[L]_[SEP] colors as the main building)
- Mono-toned (1 color) paint schemes
- Painted roof
- Inconsistent use of colors. Actual paint chips from the manufacturer must be submitted to the ADRC for approval on exterior wall and trim colors. Exterior wall color and trim must be approved by the ADRC.

V. Landscape, Hardscape and Outdoor Features

A. Landscape Design

1. Philosophy and Approach Areas outside of the building setback are to be left in their natural state with the exception of trails, walkways, roadways, driveways and utility corridors unless otherwise approved by the ADRC. Any areas disturbed by construction are to be restored with indigenous plant material that is consistent with the adjacent undisturbed area.

Within the building setback, landscape design and indigenous plant materials may be used to establish privacy. Landscape design within the building setback must provide a comfortable transition into the native vegetation at the perimeter of the building setback. The Cottages lifestyle is of a rustic nature, and to minimize the use of water and reinforce integration of improvements with the natural environment,

formal ornamental gardens and large manicured lawns are discouraged.

Landscape designs should incorporate plant materials from the approved indigenous, native, and compatible plant lists, included here in Appendix A, as they relate to the vegetation zones of the surrounding area. Installation of non-native species is discouraged and use of invasive plant materials is strictly prohibited. Landscape designs should define outdoor spaces and entries, frame desirable views, screen undesirable views, buffer prevailing winds, provide seasonal shade and add color and interest to courtyards, patios, pools and other outdoor spaces. Consideration should be given to size, color and texture of plant materials. The use of drought tolerant plant materials and the installation of moisture sensors, drip irrigation and automatic irrigation systems that conserve water are encouraged.

Landscape plans should address the building setback and the natural area. Design goals are different for each of these areas and require different design solutions. A variety of landscape improvements and materials are permitted within the building setback, but plant materials and improvements are limited in the native landscapes outside the building setback. These guidelines have been established with the intention that over time the restoration and enhancement of areas disturbed by development will blend and become a common natural landscape feature visually linking the entire community.

New plantings should be used to protect important view sheds, help to define use areas on lots, and screen outdoor service areas and other improvements from adjacent lots and off-site views. Landscape improvements should incorporate, rehabilitate and enhance existing vegetation, utilize indigenous species and minimize areas of intensive irrigation. The following guidelines apply to all landscape areas:

- Provide new trees and shrub plantings in a mix of sizes and textures that will blend naturally into the surrounding vegetation.
- Place large specimen trees in areas close to homes to assist in blending structures into the site.
- Locate plant materials in an informal, natural manner.
- Take cues from nature.
- Inside the building setback, limit the use of high-maintenance turf.
- Irrigated landscaped areas over 3,500 square feet are prohibited.
- Consider natural, native ground covers as alternatives to lawn.
- Design building improvements around existing major stands of trees on the property.
- Protect riparian and wetland areas from disturbance during construction.
- Mulch, if used, must be a natural, organic material such as shredded hardwood and be natural color (not stained red or orange). ^[1]_{SEP}As stated, special consideration must be taken to preserve the natural landscape's visual integrity and prominent physical site features. Large specimen indigenous plant material should be used to replace the natural vegetation lost during construction and to reduce the apparent height and mass of any buildings as viewed from off site. Plant material installed within the building setback should be the same scale as the naturally existing plant material in the surrounding environment. ^[1]_{SEP}Thinning, pruning or removal of existing plant material and, in particular, specimen trees (over 8 inches in diameter), is prohibited without the prior approval of the ADRC.

2. Neighborhood Principles

Areas disturbed by construction are to be restored with indigenous plant material that is consistent with the adjacent undisturbed area. Within the building setback, landscape design and indigenous plant materials may be used to establish privacy. Landscape design within the building setback must provide a comfortable transition into the native vegetation at the perimeter of the building setback. New tree and shrub plantings are to be a mix of sizes that will blend into the surrounding vegetation, naturalizing with little maintenance. Large shrubs (deciduous and evergreen), which reach a mature height of 6-10 feet shall be mixed with deciduous and coniferous trees to mask and break up the mass of the residence.

Larger areas of native grass are more acceptable and encouraged on the meadow lots and reflect the character of the environment, therefore, the use of traditional native meadow grasses that are more draught tolerant than strains of Bluegrass is recommended for areas outside the development envelop. Areas of Bluegrass should be kept adjacent to the home and outdoor living areas to reduce lawn areas requiring irrigation. Manicured or “groomed” yards, pools and gardens are to be minimized.

3. Common Areas. Common area maintenance is the responsibility of the Home Owners Association. The HOA must perform routine maintenance of all cut and fill slopes to ensure that seed and re-vegetation measures limit erosion potential per subdivision plat note.

4. Plant Species and Types See Appendix A

B. Hardscape and Paving Design.

Paving for outdoor terraces, walls, stairs, paths and driveways should be designed with the natural setting in mind. Paving materials should blend with the natural topography and vegetation. Hardscape is only permitted within the building envelope and will be limited to circulation and outdoor living areas. Use of retaining walls to create terraces for outdoor living areas will be common on hillside lots, but should be limited on meadow lots. Materials for walls and paving should be stone or natural looking materials. Colored concrete that is complimentary to the natural earth tones is allowed in small quantities. Impervious surfaces such as asphalt drives or concrete terraces are to be minimized and not exceed 30% of the gross lot area. Wood decks shall conform to the materials and colors used on the house facade.

C. Outdoor Features and Amenities

1. Artificial Water Features- Must be approved by ADRC

2. Swimming Pools- Shall be fenced per code, approval shall be part of the ADRC review. No above ground pools.

3. Seasonal Decorations- See lighting section 5. Exterior Landscape Lighting

The lowest wattage bulb for any given application is encouraged. 60 watt outdoor lamps is the maximum allowed. 75 to 100 watts may be approved by the ADRC in special circumstances. Any materials or methods of installation not specifically prescribed herein will be evaluated by the ADRC.

Subdued landscape lighting may be incorporated into landscape design, however the ADRC will typically only approve landscape lighting where the light source would not be visible from off-site, and there is no potential light spillage onto adjacent properties. Lighting of

vegetation is discouraged. Up lighting is prohibited.

High intensity lighting connected to motion sensors for security purposes may be unshielded provided it does not permeate direct glare and lighting into adjacent properties, and provided it is programmed to go off within five minutes after activation, and the light shall not be triggered by activity off the property.

Temporary lighting that conforms to the requirements of this Chapter shall be allowed. Non-conforming temporary exterior lighting may be permitted by the ADRC after consideration. Holiday lighting is permitted between November 25 and January 15.

Any proposal for building façade lighting must be approved by the ADRC. As a general rule it will not be allowed. It may be considered if the building surface being lit is not in the line of sight of any residential living unit.

4. Landscape Walls. Landscape walls must be constructed of approved boulders or laid-stone, mortared on-site stone or stone-face concrete; unacceptable materials include concrete, decorative concrete block, wood and brick; Perimeter fencing of the building setback or lot boundary is strictly prohibited.

5. Paths and Other Paved Surfaces. All paved surfaces should have a scale and character in keeping with the style and flavor of the community in general and should respond to climate, terrain, and the palette of natural materials and colors suggested by the surrounding environment. Acceptable paving materials include: asphalt, decomposed granite, on-site stone, wood, concrete, concrete paving stone and brick. Unacceptable materials include: ceramic tile, surface applied aggregate coatings, Astro-turf, and concrete block. Paving designs should be simple and straightforward, using one or two different materials at most.

6. Landscape Structures and Site Furnishings. All structures & furnishings should be integrated into the design of the residence.

VI. Construction Regulations

The preservation of natural areas is critical to the aesthetic appeal of the community. To ensure that natural areas surrounding every home site are preserved to the maximum extent possible and the nuisances inherent in any construction process are kept to a minimum, the following regulations will be enforced during the construction period. Lot Owners will be responsible for violations of these Guidelines by any consultant, contractor or subcontractor, agent or employee performing any activities on behalf of the Owner. Whether such violation occurs on the Owner's property or elsewhere in the community, the Owner will be held responsible. Applicable Occupation Safety and Health Act (OSHA) regulations and guidelines must be observed at all times during construction.

A. Limits of Disturbance. The building setback is the limit of disturbance for each home site and is also the area within which all construction activities related to the improvements must be confined except for the driveway and utility lines extension construction. To this end, the approved area of disturbance should be staked and temporarily fenced with a minimum four-foot high construction fence during the duration of construction. Construction fencing should extend to the street frontage so contractors and suppliers will be unable to park vehicles or store supplies in the natural environment. All disturbed areas must be revegetated following construction with approved plant materials.

When a utility trench does not follow the driveway, the trench area should be fenced with construction fencing along the trench on each side at a width of 8 feet and the trench area must be fully revegetated immediately following utility installation.

B. Construction Site Plan. As part of the Final Design Submittal to the ADRC, a construction site plan should be prepared and approved which indicates construction access, parking areas off the street, sanitary facilities, concrete wash out area, trash drum, material storage and approved access drives for construction activities on any home site.

C. Construction Trash Receptacles and Debris Removal. Owners and builders must clean up all trash and debris at the end of each day. An approved trash receptacle should remain on the site during the construction period for this purpose. Receptacles should be positioned along the access drive, clear of adjacent road rights-of-way and neighboring properties. Trash receptacles must be emptied in a timely basis to avoid overflow of refuse and disposal must be offsite at an approved landfill or transfer station. Owners and their consultants, contractors, or other employees are prohibited from dumping, burying, or burning trash of any kind (including construction and landscaping debris) anywhere onsite.

All concrete washouts from both trucks and mixers must occur within a contained area inside the building setback. The debris accumulated during the course of construction will ultimately need to be removed from the site completely. Concrete washout in road rights-of-way, setbacks, or on adjacent properties is strictly prohibited.

Each construction site must be kept neat and must be properly policed to prevent it from becoming a public eyesore, nuisance or detriment to other home sites or open space. Any cleanup costs incurred by The Cottages in enforcing these requirements will be payable by the Owner. Dirt, mud or debris tracked onto roads from the construction site must be promptly removed.

D. Sanitary Facilities. Each owner or contractor/builder is responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located within the building setback, clear of setbacks and in a discrete location approved by the ADRC.

E. Daily Operation. Construction activity which generates noise audible from the boundaries of any home site, such as hammering, sawing, excavation work, concrete delivery and so forth must be confined to the hours of 7:00 AM to 7:00 PM, Monday through Friday, and 8:00 AM to 7:00 PM on Saturday. Noisy activity is prohibited on Sunday of each week, particularly during the summer period of high owner/visitor occupancy.

F. Site Visitations and Personnel Conduct. Due to the inherent danger associated with an active construction site, visitors to any site should be limited to those persons with official business relating to the construction activity, such as construction workers and tradesmen, building officials, security staff, Architectural Design Review Committee (ADRC) members, sales personnel and the Owner.

Construction personnel are prohibited from bringing pets inside The Cottages development. No construction personnel will be allowed to fish or hunt within the development.

G. Use of Firearms. The possession or discharge of any type of firearm by construction personnel on any construction site, home site, common area parcel or right-of-way is prohibited.

H. Alcohol and Controlled Substances. The consumption of alcohol or use of any controlled substance by construction personnel on any construction site, home site, common area parcel or right-of-way is prohibited

I. Preservation of Native Landscape and Re-vegetation. Prior to site disturbance, trees and all natural areas which are to be preserved must be marked and protected by flagging, fencing or barriers. The ADRC has the right to flag major terrain features; trees or plants it deems should be protected.

As previously stated in these Design Guidelines, the impact of construction on the existing landscape should be minimized as much as possible. However, some disturbance is inevitable. Correcting damage caused during the development process requires revegetation. To the greatest possible extent, revegetation should recreate the character of the pre-development environment using native trees and plant materials.

New plantings must blend with the existing landscape so that several years hence, all traces of the disruption will have disappeared. Plant species native to this region and approved by the ADRC must be used to revegetate all disturbed areas. A revegetation plan must be prepared and submitted with the final documents.

Owners and their contractors will be held financially responsible for site restoration; revegetation and refuse removal from their property and from adjacent properties should the latter be the result of trespass or negligence by themselves, their employees, or sub-contracted agents.

J. Erosion Control. During construction, measures must be taken to mitigate erosion. To this end, contractors should employ in-field construction methods as outlined below. Measures must comply with Utah County, state and federal requirements.

- Temporary run-off channels must be built to drain construction zones. In areas draining two acres or less, channels must have silt screens installed at appropriate locations. Silt screens should be stretched across and anchored to the bottom of the channels with hay bales placed on the upstream side of the fabric. Where watershed above the site exceeds two acres, temporary earthen berms or ditches for channeling water around the construction site must be used in conjunction with silt screens.
- Silt fencing and/or hay bales must be provided along stream edges to prevent erosion of soil into streams.
- Soil stockpiles must be covered until soil is spread or removed from the site.
- All storm drain inlet structures must be protected by a filler berm until the area is stabilized and vegetation is established.
- Weather permitting, all embankments constructed as part of cut and fill operations must be seeded and mulched within one week of disturbance.
- Weather permitting, all building site areas must be seeded and mulched within one week of final grading completion. [SEP]

K. Dust and Noise Control. The Owner's contractor is responsible for controlling dust and noise from the construction site including removal of dirt and mud tracked onto roadways. The sound of radios or other audio equipment used by construction personnel must not be audible beyond the property perimeter of any home site.

L. Blasting is prohibited

M. Material Stockpiling. All building materials, equipment and machinery required to construct a residence on any home site at The Cottages must be delivered to and remain within the building envelop of each home site. This includes all building materials, earth-moving equipment, trailers, generators, mixers, cranes and any other equipment or machinery that will remain in the community overnight. Material and equipment delivery vehicles may not drive across adjacent home sites or common areas to access construction sites.

N. Construction Insurance Requirements. All contractors and sub-contractors must post evidence of insurance with their lot Owner prior to entering the construction premises. Confirmation must be evidenced in the form of a valid Certificate of Insurance naming the lot Owner, The Cottages Community Association as certificate holders under the policy. The insurance must provide coverage for comprehensive general liability and automobile liability of not less than \$1,000,000 and workers' compensation to the limits required by the State of Utah. General liability coverage should contain provisions for contractual liability and broad form property damage. The certificate should provide for 30-day notice to the certificate holders in the event of cancellation or material change in the limits of coverage.

VII. Architectural Design Review Committee Process and Structure

A. ADRC Process Site sensitive design is fundamental for development at The Cottages. Design drawings should evolve from the careful and thorough analysis of a site's specific setting and features. Consequently, Owners and their consultants should approach a site with an open mind, creating development that fits within the environment in which it will be placed.

Owners should assemble a design team that includes an architect, engineer (structural and geotechnical if needed) and a landscape architect. Owners and their design teams should become familiar with these Design Guidelines, The Cottages Covenants, Conditions and Restrictions, Utah County applicable codes and ordinances, and other Utah State and US Federal regulations that apply to development at The Cottages.

1. Pre-Design Conference. Prior to preparing preliminary plans for any proposed improvement.

The Cottages at Hobble Creek, the owners (and their consultants as needed) must meet with a representative of the ADRC to discuss proposed plans and to resolve any questions regarding building requirements at The Cottages. This informal review, which should occur on the property, is intended to offer guidance and answer questions prior to the initiation of preliminary design.

The parameters and directives identified at each Pre-Design Conference remain valid for six months only. If the submittal of a preliminary design does not occur within six months of this Conference, a supplementary Pre- Design Conference will be required to review any changes in site conditions or revisions to the Design Guidelines that may have occurred.

2. Preliminary Design Submittal. The preliminary design submittal must follow the Pre-Design

Conference within six months and must include the following exhibits:

- Site plan (scale at 1" = 10' or 1/8" = 1') showing the entire lot, ^{[[[}location of the building setback, building setbacks, limits of disturbance, the building footprint including garage and decks or porches, driveway, terraces, patios, existing and proposed topography, proposed finished floor elevations, ridge line elevations, significant trees, clusters of native shrubs and special terrain features to be preserved.

- Survey (scale at 1" – 10' or 1/8" – 1') prepared by a registered land surveyor or licensed civil engineer showing the home site boundaries and dimensions, topography (2-foot contours or less), major terrain features to significant trees either to be removed or remain, edge of pavement and utility locations.
- Schematic Floor plans (scale 1/4" or 1/8" = 1') showing proposed finished floor elevations.
- Exterior elevations (scale 1/4" or 1/8" = 1') showing both existing and proposed grade lines, plate heights, ridge heights, roof pitch and a preliminary indication of exterior materials and colors.
- Preliminary construction site plan indicating construction access, parking areas off the street, sanitary facilities, concrete wash out area, trash drum, and material storage.
- Preliminary landscape plan showing existing vegetation, areas of proposed removal of vegetation during construction, as well as proposed site furnishings, areas proposed for new plantings and suggested irrigation.
- Preliminary lighting plan showing locations of any free-standing light standards with material types and light sources, lighted landscape elements, and lighting on exterior building spaces and outdoor living areas.
- Preliminary Erosion Control Plan illustrating best management practices to be used during the course of construction, and where such practices will be implemented.
- Other drawings, materials or samples requested by the ADRC, which may have been specifically requested during the Pre-Design Conference. ^[1]_{SEP} Three sets of plan prints should be submitted, of which two sets will be retained by the ADRC. The ADRC will review the plans and respond in writing no later than 30 days following receipt of a complete submittal. If the submittal is not complete, all plans will be returned to Owner without being reviewed along with a checklist outlining what materials are missing. The ADRC review process and 30-day timeline will not start until all required plans are submitted. Once plans have been reviewed and any issues worked out, the ADRC will write the Owner granting preliminary design approval.

3. Final Design Submittal. A final design submittal should follow within six months but no longer than twelve months from the ADRC's granting of approval for the preliminary design. This submittal must include the following exhibits. Review by the ADRC will not begin until all required documentation is received.

- Final Site Plan (scale at 1" = 10' or 1/8" = 1') showing the entire lot, the building setbacks, limits of disturbance, the residence and all other buildings, driveway, culverts, drainage channels, parking areas, existing and proposed topography, finished floor elevations, protected plants and trees, special terrain features to be preserved, trees to be removed, utility sources and connections, and site walls/fences.
- Floor Plans (scale 1/4" = 1' or 1/8" = 1') showing finished floor elevations.
- Roof Plan (scale 1/4" = 1' or 1/8" = 1") showing all roof pitches.
- Building Section (scale 1/4" = 1' or 1/8" = 1' or larger) indicating existing and proposed grade lines.
- Exterior Elevations (scale 1/4" = 1' or 1/8" = 1') showing both existing and proposed grade lines, building heights clearly labeled, roof pitch, overhangs clearly dimensioned and an indication of exterior building materials and colors to be used.

- Materials Sample Board and literature as required by the ADRC depicting and describing all exterior materials.
- Final Landscape Plan (scale 1" = 10' or 1/8" = 1') showing size and type of all proposed plants, irrigation system, decorative materials or borders, and retained plants, as well as outdoor living spaces including pathways, gazebos, decks, greenhouses and so forth.
- Final Lighting Plan (scale 1" = 10' or 1/8" = 1') showing final locations of free-standing light standards with materials and specifications, lighted landscape elements, as well as lighting on exterior building spaces and outdoor living areas.
- Final Construction Site Plan showing construction access, parking areas off the street, sanitary facilities, concrete wash out area, trash drum material storage.
- Final Erosion Control Plan showing where the best management practices are to be located and how they will be maintained during the course of construction.
- Construction Documents including one set of plans and specifications.
- Construction Schedule showing anticipated construction commencement, inspection intervals and construction completion.
- Any engineering certification (Structural or Geotechnical). ^[SEP]The ADRC requires on-site staking of building corners and other improvements for review. The submittal must include three sets of plan prints, two of which will be retained by the ADRC. A complete submittal package must be received at least ten days prior to a scheduled ADRC review meeting in order to be placed on the agenda for that meeting.

The ADRC will review final submittal packages and respond in writing within 20 days but no later than 30 days after a complete submittal has been received. Results of reviews will not be discussed over the telephone and Owners and their consultants will only be included in review meetings at the invitation of the ADRC. Responses to the ADRC by Owners and/or their consultants must be in writing. ADRC's final approval is valid for 12 months from the date of approval.

At the discretion of the ADRC, an on-site inspection may be conducted prior to final design review to confirm that plans reflect actual site conditions.

4. Re-submittal of Plans . In the event that plan approval is denied for either a preliminary or final submittal, a resubmission of plans should follow the same procedure as an original submittal.

5. Construction Commencement. On receipt of final approval from the ADRC and all other reviewing agencies, and upon obtaining a building permit from the appropriate local or county building office, the Owner may begin construction in accordance with the approved plans immediately. If construction has not commenced within the 12 month time period, approval will be considered revoked.

In any event, construction must be completed within 18 months from commencement except if completion is impossible due to labor strikes, national emergencies or natural calamities. If the 18-month deadline will be breached, Owners or their representatives must notify the ADRC, indicating the reasons for the delay and the revised timeline for completion.

At the discretion of the ADRC, work in progress may be inspected and notice may be given of noncompliance with approved plans and/or these Design Guidelines. The ADRC reserves the right to hire an independent inspector at the property Owner's expense should

circumstances dictate. Absence of such inspection or notification during construction does not constitute an approval by the ADRC of work in progress or compliance with the Design Guidelines. Any such inspection should not be construed as an acceptance of any improvements or conditions, or as a waiver of any provision of these Design Guidelines or of any condition of approval established by the ADRC.

6. Modifications to Plans after Approval. Any modifications or additions to plans, whether architectural or site design, including color and materials changes, must be submitted to the ADRC for approval prior to implementation. It is the Owner's responsibility to keep the ADRC informed of any changes and the Owner cannot hold the ADRC liable for changes implemented prior to a verdict rendered if they are to be determined unacceptable. The ADRC will make every effort possible to make decisions in a timely manner so as to not delay construction progress.

7. Right of Waiver. The approval by the ADRC of any plans, drawings or specifications for any work done or proposed to be done should not be deemed to constitute a waiver of any right to withhold approval of any similar plan, drawing or specification subsequently or additionally submitted for approval. Failure to enforce any of the Design Guidelines does not constitute a waiver of same.

The ADRC reserves the right to waive or vary any of the procedures set forth herein at its discretion for cause.

8. Construction Completion. Construction activities including landscape installations must be completed within 24 months of construction start. Upon completion of construction, the ADRC will inspect the property. If all improvements comply with these Design Guidelines and approved plans, the ADRC will issue a written approval to the Owner, notifying a final release of the improvements by the ADRC. This final release will be issued within 30 days of the final inspection. If work is found not be completed in strict compliance with the set of approved plans or any portion of the Design Guidelines, the ADRC will issue a written notice of noncompliance to the Owner, specifying the particulars of noncompliance.

The Owner will have 30 days from the date of the notice of noncompliance with which to remedy the noncompliance portions of improvements. If, by the end of this time period the Owner has failed to remedy the noncompliance issues, the ADRC may take action to remove the noncompliant improvement as provided for in these Design Guidelines, including, without limitation, injunctive relief or the imposition of a fine. A final release will not be approved until all non-compliance issues are resolved.

9. Design Review Fee. A Design Review fee will be charged as determined by the ADRC not to exceed \$500.

Additional Design Review fees may be charged for resubmittals, remodels or other special circumstances. Design Review fees are due at the time of preliminary submittal and no plan review will be conducted until fees are paid in full. Fees may be updated at any time and at the discretion of the ADRC.

B. ADRC Structure

1. Members. As stipulated in the Covenants, Conditions and Restrictions (CC&Rs) of The Cottages, the Architectural Design Review Committee (ADRC) will consist of three regular members and one alternate member, each of whom will be appointed by the HOA Board. In no event will there be less than three or more than 5 regular members. In this case, each of the members will be appointed by and serve at the discretion of the Board.

2. Meetings. The ADRC will meet on a regularly scheduled basis as determined feasible and necessary to perform their duties during development of the property. The vote of a majority of the members will constitute an act by the ADRC. The ADRC will keep on file all submittals and copies of written responses to Owners and their consultants to serve as a record of actions taken.

3. Address. The contact information for Architectural Design Review Committee is: _____

This address will be the place for submittal of plans and specifications for review and also where current copies of these Design Guidelines and CC&Rs can be obtained.

4. Resignation of Members.

Any member of the ADRC may, at any time, resign from the Committee upon written notice delivered to the Board.

5. Amendment of Design Guidelines. The ADRC may, from time to time at its sole discretion, amend or revise any portion of the Design Guidelines. All such amendments or revisions must be appended to and made a part of the Design Guidelines. Administrative changes may be made in a like manner by the ADRC. Changes of a substantive nature may be recommended by the ADRC for consideration by the Board.

6. Liability. Neither the ADRC, nor any member thereof, including The Cottages Board, its members, managers, employees, agents, and affiliates will be liable to any Owner or other person for any loss or damage claimed on account of any of the following:

- The approval or disapproval of any plans, drawings and specifications, whether or not defective. Owners acknowledge that the ADRC is not reviewing plans, drawings or specifications for structural soundness, adherence to codes, or other similar purpose, but only with the intent of determining whether such plans, drawings and specifications comply with the provisions of these Design Guidelines. Neither the ADRC nor any of its individual members, whether or not such member is a licensed or registered design professional, will have any liability as architect, engineer, landscape architect or other design professional.
- The construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications regardless of any inspections by the ADRC during the course of construction.
- The development or manner of development of any property within The Cottages.
- The inspection or approval of any improvements within The Cottages. ^[SEP]Every Owner or other person, by submission of plans and specifications to the ADRC for approval, agrees that no action or suit against the ADRC, any of its members, The Cottages Community Association or any of its members, will be brought as a result of any action taken by the ADRC. ^[SEP]Approval by the ADRC of any improvement at The Cottages only refers to The Cottages Design Guidelines and in no way implies conformance with local government regulations. It will be the sole responsibility of the Owner to comply with all applicable government ordinances and/or regulations, including but not limited to zoning ordinances and local building codes.

7. Delegation of Authority. The ADRC may delegate any or all of its Design Review responsibilities to one or more of its members, acting as a subcommittee of the ADRC, and/or a professional design consultant retained by the ADRC on behalf of the Board. Upon such delegation, the actions of such members or consultants will be equivalent to action by the Committee as a whole.

8. Governance. These Design Guidelines are promulgated pursuant to the terms and conditions of the CC&Rs of The Cottages. In the event of any inconsistency between the provisions of these Design Guidelines and the provisions of the CC&Rs, the stricter of the provisions will prevail. In the event of any inconsistency between codes and ordinances of local, state and federal agencies and these Design Guidelines, the stricter regulation, code or requirement will apply.

APPENDIX A

- Approved plant list is available

APPENDIX B

DESIGN REVIEW SUBMITTAL CHECK LIST

1. PRE-DESIGN CONFERENCE (Must occur prior to commencement of design)

- Confirm sign off on conditions depicted in the Individual Lot Plan (to be completed at time of lot purchase)
- Review Design Guidelines, CC&Rs and Utah County codes and ordinances
- Schedule meeting with a member or members of the ADRC on site
- Discuss driveway configuration and any special site opportunities and constraints
- Obtain copy of Design Review Application
- Ask and answer questions related to the design and approval of residences at The Cottages

2. PRELIMINARY DESIGN SUBMITTAL

- Site plan with topography
- Survey with legal description
- Floor plans
- Exterior elevations
- Preliminary landscape plan
- Preliminary lighting plan

- Supplemental drawings, materials and studies requested during the Pre-Design Conference
- Review fee and application RESULT: Approval or denial from the ADRC within 30 days

3. FINAL DESIGN SUBMITTAL

- Final site plan
- Final floor plans
- Roof plan
- Building section
- Exterior elevations
- Materials sample board for exterior materials
- Final landscape plan
- Final lighting plan
- Construction site plan
- Complete set of construction documents (plans and specifications)
- Structural certifications
- Construction time schedule
- Proof of bond RESULT: Final approval or denial from the ADRC within 30 days

4. OBTAIN COUNTY BUILDING PERMIT

5. CONSTRUCTION COMMENCEMENT (within 12 months of final ADRC approval)

6. CERTIFICATE OF FINAL CONSTRUCTION APPROVAL

- Issued by the ADRC upon completion of construction and all required inspections